



TOWN OF JEROME

Post Office Box 335, Jerome, Arizona 86331
(928) 634-7943

Zoning Administrator Analysis Planning and Zoning Commission Wednesday, August 5, 2020

ITEM 7: Preliminary/final site plan review for a lot line adjustment, an addition, and stairs
Location: 639 Center Avenue
Applicant/Owner: Greg Worth/Gregory A. Worth Living Trust
ZONE: R1-5
APN: 401-08-037
Prepared by: John Knight, Zoning Administrator
Resolution: P&Z Resolution 2020-14

Background and Summary: The applicant requests preliminary and final site plan review for 1) a lot line adjustment; 2) a small addition on the rear of the structure; and 3) an access stairway from the second-story deck to the street. The property line is currently located about three (3) feet inside the existing home. To allow the addition, the applicant proposes to move the lot line so that it is five (5) feet from the existing structure (see survey exhibits). This property line will be moved approximately seven (7) feet to the west and will increase the lot size from 2,700 square feet to 3,300 square feet. Note that the Planning and Zoning Commission's decision on this issue could require a variance depending on which yard is determined to be the rear yard and which one is determined to be the side yard.

Section 303.1.A. Purpose: *The purpose of the preliminary site plan review is to provide for the public health, safety and general welfare, and to protect the environment and the historical character of the Town of Jerome. The plan review will include examination of all proposed site work and excavation and grading regulations, with special regulation of work on sites with extreme slope or unstable soils. Essential to this purpose is the review of possible impacts on surrounding properties.*

Response: The zoning administrator and Jerome Planning and Zoning Commission are required to review the proposed plans to provide for the public health, safety, and general welfare of the town of Jerome, and to protect the environment and the town's historical character. This includes a review of all proposed site work, grading, and potential impacts on surrounding properties.

Fire Chief Rusty Blair has raised safety concerns about the proposed addition. Specifically, Chief Blair stated, "639 Center Street project will not meet the setback requirements and may exceed the 60-percent lot coverage allowed by the zoning code, worsening my ability to fight fire and protect the surrounding area." Note that if the Planning and Zoning Commission determine that the yard adjacent to the addition is a side yard, then a five- (5-) foot setback is required. If the Commission determines that it is a rear yard, then a 20-foot setback is required (along with a variance). In addition, an analysis of the coverage indicates that the applicant's proposal will not exceed the 60-percent maximum coverage standard (see attached exhibit and table below).

Section 303.1.E. Review Procedures: *The Zoning Administrator shall have ten (10) working days from the date of submission of a preliminary site plan application to review said plan for completeness. A completed preliminary site plan shall be submitted to the Planning and Zoning Commission at the earliest meeting time available. The Zoning Administrator may request Design Review recommendation on the Preliminary Site Plan. The Planning and Zoning Commission shall approve, conditionally approve or deny said plan. Once denied, the original plan shall not be resubmitted. The Planning and Zoning Commission may, if the preliminary drawings and other data are sufficiently clear and explicit, waive the requirements of Section 303.2 and/or Grant Final Approval at the Preliminary Review session, provided all other requirements of this section are conformed with.*

Response: After reviewing the proposed plans and application materials, the Planning and Zoning Commission may approve, conditionally approve, or deny the plan. Note: this section also identifies that the Commission may concurrently approve both preliminary and final site plan reviews if the drawings and information are sufficiently clear. The applicant has requested a preliminary and a final approval.

Section 505.D. Property Development Standards

| Item | Code Standard | Existing | Proposed |
|-----------------------------|--|-----------------|--|
| Stair setback | none | n/a | 0 feet |
| Coverage | 60% max. | 59.7% | 53% (after moving the lot line) |
| Front setback – Center Ave. | 10 feet min. | 1.5 feet | no change |
| Front setback – Fourth St. | 10 feet min. | 7 feet | 14 feet (for portion where the addition is proposed) |
| West side setback* | 5 feet (side yard) or 20 feet (rear yard) min. | -3 feet | 5 feet (after lot line adjustment)** |
| Height | 25 feet max. | 28feet 6 inches | 10 feet (for addition) |

* Note – the Commission needs to determine if the west setback is a rear yard or side yard.

** Note – requires a variance if determined to be a rear yard.

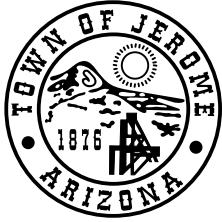
Response: The applicant’s proposal appears to meet the setback and coverage requirements if the Commission determines the yard next to the addition is a side yard. This requires a five- (5) foot setback. If the Commission determines the yard is a rear yard, then a 20-foot setback is required along with a variance. Note that the structure currently has a negative setback. After moving the lot line, the adjacent property at 116 Fourth Street will also meet setback and coverage standards.

Recommended Conditions: The Planning and Zoning Commission may add conditions to ensure compliance with town ordinances and standards. The zoning administrator has prepared a resolution and conditions for consideration by P&Z.

Recommendation: The zoning administrator recommends approval of the project with the conditions included in the attached resolution.

Attachments:

- P&Z Resolution 2020-14
- Survey exhibits
- Coverage calculation exhibit
- Application, plans, and supplemental information



TOWN OF JEROME

Post Office Box 335, Jerome, AZ 86331
(928) 634-7943

P&Z Resolution No. 2020-14

Approving Preliminary and Final Site Plan Review for a lot line adjustment, addition, and stairs for a single-family home at 639 Center Avenue

WHEREAS, the Town of Jerome has received an application for Preliminary and Final Site Plan Review from Greg Worth for property located at 639 Center Avenue (APN 401-08-037); and

WHEREAS, the property is in the R1-5 zoning district; and

WHEREAS, a notice was posted at the site on July 21, 2020, in accordance with Jerome Zoning Ordinance Section 303.1C; and

WHEREAS, the application has been reviewed in accordance with Section 303.1 and Section 303.2 of the Jerome Zoning Ordinance; and

WHEREAS, the application has been reviewed and determined to be in compliance with the property development standards of Section 505 of the Jerome Zoning Ordinance; and

WHEREAS, the Jerome Planning & Zoning Commission reviewed this application at their August 5, 2020 meeting and wishes to approve the application with certain conditions; and

WHEREAS, the Planning and Zoning Commission finds that the proposed improvements do not adversely affect the public health, safety, and general welfare of the Town of Jerome, and so protects the environment and the town's historical character;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that the Preliminary and Final Site Plan review for a lot line adjustment, addition, and stairs for a single-family home at 639 Center Avenue is hereby approved, subject to the following conditions:

1. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
2. **Other Improvements/Changes** – Any subsequent modifications or changes to the Plans, including but not limited to changes in setbacks, square footage, fences, siding, roofing, height, etc., will require additional review by the Planning and Zoning Commission and/or the Design Review Board.

P&Z RESOLUTION NO. 2020-14

3. **Drainage** - The building permit submittal shall indicate both existing and proposed drainage. This includes, but is not limited to, how drainage will be collected (such as from roof drains) and directed to provide disposal and protection of neighboring properties. This may include splash blocks, swales, detention basins, and gravel catchments to help dissipate hydraulic energy. Roof and other drains shall not be directed across sidewalks.
4. **Building Permit Submittal and Code Requirements** - The applicant/s shall consult with the Building Inspector and submit detailed drawings for building permits that clearly demonstrate compliance with all Code requirements, including, but not limited to, coverage, height, parking, and setbacks (Section 505).
5. **Compliance with plans** – The project shall be completed in compliance with the approved plans.
6. **Conditions on Plans** – The building permit plan submittal shall include a sheet with a list of approved conditions from both the Design Review Board and Planning and Zoning Commission.
7. **Expiration of Approval** - This approval shall become null and void if a building permit is not issued within six (6) months of final Planning and Zoning and Design Review Board Approval of this application. If necessary, the applicants may request an extension by the approval body, if the extension is submitted prior to approval expiration.

ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 5th day of August 2020.

ATTEST:

APPROVED:

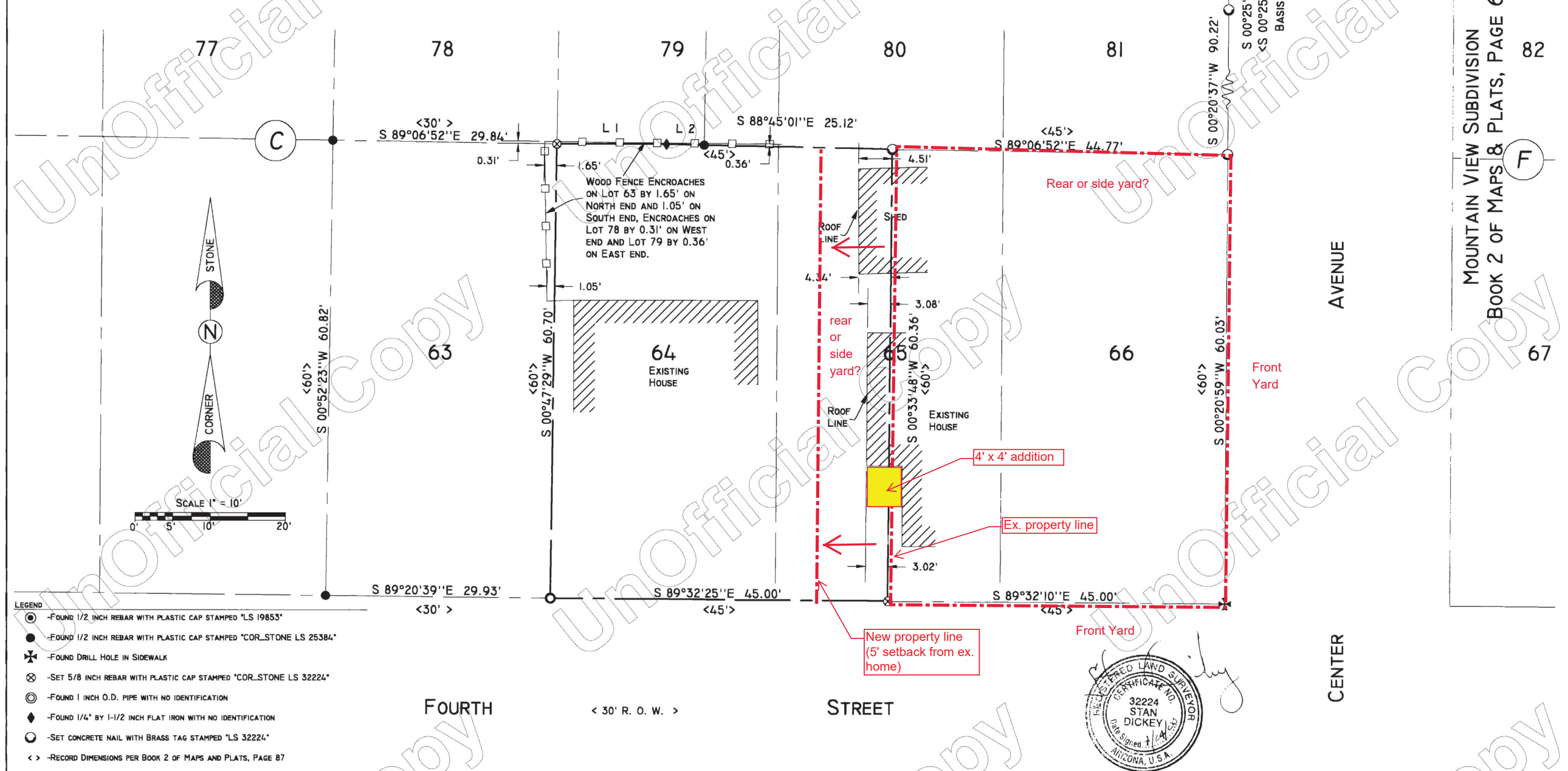
Rosa Cays, Deputy Town Clerk

Jessamyn Ludwig, Chair

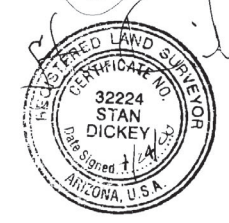
L. S. 53/22

NOTE
 THIS SURVEY IS SUBJECT TO ALL CONDITIONS, RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY, AND EASEMENTS, ABANDONMENTS AND ALL OTHER PERTINENT DOCUMENTS OF RECORD WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.

| LINE | BEARING | DISTANCE |
|------|--------------|----------|
| 1 | S 89°55'12"E | 14.60' |
| 2 | S 88°35'50"E | 5.05' |



- LEGEND**
- - FOUND 1/2 INCH REBAR WITH PLASTIC CAP STAMPED "LS 19853"
 - - FOUND 1/2 INCH REBAR WITH PLASTIC CAP STAMPED "COR_STONE LS 25384"
 - ⊕ - FOUND DRILL HOLE IN SIDEWALK
 - ⊗ - SET 5/8 INCH REBAR WITH PLASTIC CAP STAMPED "COR_STONE LS 32224"
 - - FOUND 1 INCH O.D. PIPE WITH NO IDENTIFICATION
 - ◆ - FOUND 1/4" BY 1-1/2 INCH FLAT IRON WITH NO IDENTIFICATION
 - - SET CONCRETE NAIL WITH BRASS TAG STAMPED "LS 32224"
 - < > - RECORD DIMENSIONS PER BOOK 2 OF MAPS AND PLATS, PAGE 87



YAVAPAI COUNTY RECORDER
 #3252189
 FILED AND RECORDED AT THE REQUEST OF
CORNERSTONE SURVEYING AND MAPPING, INC.
 April 24 A.D. 2000
 AT 3:19 O'CLOCK P.M.
 BOOK 53 OF LAND SURVEYS
 PAGE 22
 RECORDS OF YAVAPAI COUNTY, ARIZONA
PATSY JENNY-COLON
 COUNTY RECORDER
Anthony J. Benelli
 DEPUTY RECORDER

BOUNDARY RESURVEY

OF LOT 64 AND THE WEST HALF OF LOT 65 OF BLOCK C, OF THE SYNDICATE ADDITION OF THE COPPER CHIEF CLAIM, IN SECTIONS 22, 23, 26 & 27, TOWNSHIP 16 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, RECORDED IN BOOK 2 OF MAPS AND PLATS, PAGE 87 IN THE OFFICE OF THE COUNTY RECORDER, IN THE COUNTY OF YAVAPAI, IN THE STATE OF ARIZONA

AT THE REQUEST OF CAROL PALMER.

CORNERSTONE
 SURVEYING & MAPPING, INC.

804 N. MAIN STREET, SUITE A
 COTTONWOOD, AZ. 86326
 PH: 520-649-0949
 FAX: 520-649-0952

| No. | REVISED BY | DATE |
|-----|------------|------|
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|---------------------------------|
| PROJECT No. 10004181 |
| DATE 22-APRIL-2000 |
| DATE OF SURVEY 18-APRIL-2000 |
| DRAWING BY STAN DICKEY |
| SHEET 1/1 |

MOUNTAIN VIEW SUBDIVISION
 BOOK 2 OF MAPS & PLATS, PAGE 65

COORDINATE SYSTEM DEFINITION
LINEAR UNIT : INTERNATIONAL FEET

PROJECTION:
TRANSVERSE MERCATOR

GEODETIC DATUM : NAD83 (2011)
VERTICAL DATUM : N/A
SYSTEM : CAPSTONE-VVLPD
ZONE: VERDE VALLEY

LATITUDE OF GRID ORIGIN : 34°40'N
LONGITUDE OF CENTRAL MERIDIAN: 112°00'W
NORTHING AT GRID ORIGIN: 80,000.00 FT
EASTING AT CENTRAL MERIDIAN: 80,000.00 FT
CENTRAL MERIDIAN SCALE FACTOR: 1.000185 EXACT

| Line | Bearing | Distance |
|------|---------------|--------------|
| 1 | S 00°37'59" W | 30.16' <30'> |
| 2 | S 00°37'59" W | 10.00' [10'] |
| 3 | S 00°07'00" W | 10.00' [10'] |
| 4 | S 00°07'00" W | 22.00' [22'] |
| 5 | N 89°16'34" W | 30.00' <30'> |
| 6 | N 00°07'00" E | 22.00' [22'] |
| 7 | N 89°16'34" W | 30.00' <30'> |
| 8 | S 89°16'34" E | 30.00' <30'> |

ABBREVIATIONS USED:
O.D. - OUTSIDE DIAMETER
LS - LAND SURVEYOR
NFTS - NOT FOUND THIS SURVEY
N: - NORTHING COORDINATE
E: - EASTING COORDINATE
LAT: - LATITUDE - NORTH
LON: - LONGITUDE - WEST
APN - ACCESSOR'S PARCEL NUMBER
BLDG - BUILDING

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, IN JULY 2020 IN CONFORMANCE WITH THE ARIZONA BOUNDARY SURVEY MINIMUM STANDARDS ADOPTED IN FEBRUARY OF 2002.

STAN DICKEY
LS 32224



LEGEND

- ✱ -SET MAG NAIL WITH BRASS TAG STAMPED "RLS 32224" (UNLESS NOTED)
- ⊙ -FOUND 3/4 INCH SMOOTH ROD AFFIXED BRASS TAG STAMPED "LS 32224"
- -CALCULATED POINT NOTHING FOUND OR SET
- ⊗ -FOUND 5/8 INCH REBAR WITH PLASTIC CAP "COR-STONE LS 32224" (UNLESS NOTED)
- ⊙ -PREVIOUSLY FOUND 1/2 INCH REBAR WITH PLASTIC CAP STAMPED "COR-STONE LS 25384"
- ⊙ -FOUND 1 INCH O.D. PIPE AFFIXED BRASS TAG STAMPED "LS 32224" (UNLESS NOTED)
- ⊙ -FOUND CONCRETE NAIL WITH BRASS TAG STAMPED "LS 32224" (UNLESS NOTED)
- < -SET 1/2 INCH REBAR WITH ALUM CAP STAMPED "LS 32224" - 0.3' N. OF CORNER POSITION
- < -RECORD DIMENSIONS PER BOOK 2 OF MAPS AND PLATS, PAGE 87
- [] -RECORD DIMENSIONS PER BOOK 53 OF LAND SURVEYS, PAGE 22
- [] -RECORD DIMENSIONS PER BOOK 3458 OF OFFICIAL RECORDS, PAGE 810



THE BASIS OF BEARINGS FOR THIS SURVEY IS GEODETIC NORTH AS DETERMINED FROM GPS OBSERVATIONS. SEE SURVEYOR'S NOTE 4 ABOVE.

SURVEYOR'S NOTES

- (1) THIS PLAT WAS PREPARED FOR THE SOLE BENEFIT OF GREG WORTH. IT WAS PREPARED FOR SPECIFIC USERS AND FOR A SPECIFIC PURPOSE PURSUANT TO AN AGREEMENT WITH THE CLIENT AND AS SUCH ITS PURPOSE MAY BE MISLEADING TO OTHERS. FOR THESE REASONS, USE BY OTHERS IS FORBIDDEN WITHOUT THE EXPRESS WRITTEN CONSENT OF THE CERTIFIER SIGNED HEREON.
- (2) THE SURVEYORS CERTIFICATION IS SUBJECT TO A LIMITATION OF LIABILITY. THE GENERAL PUBLIC ARE ON NOTICE THAT THIS RESULTS OF SURVEY IS SUBJECT TO A LIMITATION OF LIABILITY NOT TO EXCEED THE PRICE OF THE ORIGINAL PROPOSAL DATED 07/16/2020 BETWEEN CAPSTONE PROFESSIONAL SERVICES CORPORATION, AN ARIZONA CORPORATION AND GREG WORTH. BY RELIANCE THE ACCEPTANCE OF THESE TERMS IS EFFECTUATED. COPIES OF THE ORIGINAL PROPOSAL ARE AVAILABLE UPON REQUEST.
- (3) BRACKETED DIMENSIONS REPRESENT RECORD DIMENSIONS AS DEFINED IN LEGEND. ALL UNBRACKETED DIMENSIONS REPRESENT MEASURED DIMENSIONS.
- (4) ALL MEASURED BEARINGS AND DISTANCES SHOWN HEREON ARE GRID VALUES BASED UPON THE PROJECTION DEFINITION SHOWN HEREON. THE PROJECTION WAS DEFINED SUCH THAT GRID DISTANCES ARE NEARLY EQUIVALENT TO GROUND DISTANCES IN THE PROJECT AREA. THE BASIS OF BEARINGS IS GEODETIC NORTH. HOWEVER, MEASURED GRID BEARINGS SHOWN HEREON (OR IMPLIED BY GRID COORDINATES) DO NOT EQUAL GEODETIC BEARINGS DUE TO MERIDIAN CONVERGENCE.
- (5) THIS SURVEY IS SUBJECT TO ALL CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, RIGHTS OF WAY AND ALL OTHER MATTERS WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.

REVISED 7-28-2020 TO CORRECT DECK MEASUREMENTS TO REFLECT ACTUAL SHOTS VS. BUILDING ALIGNMENT.

LOT LINE ADJUSTMENT

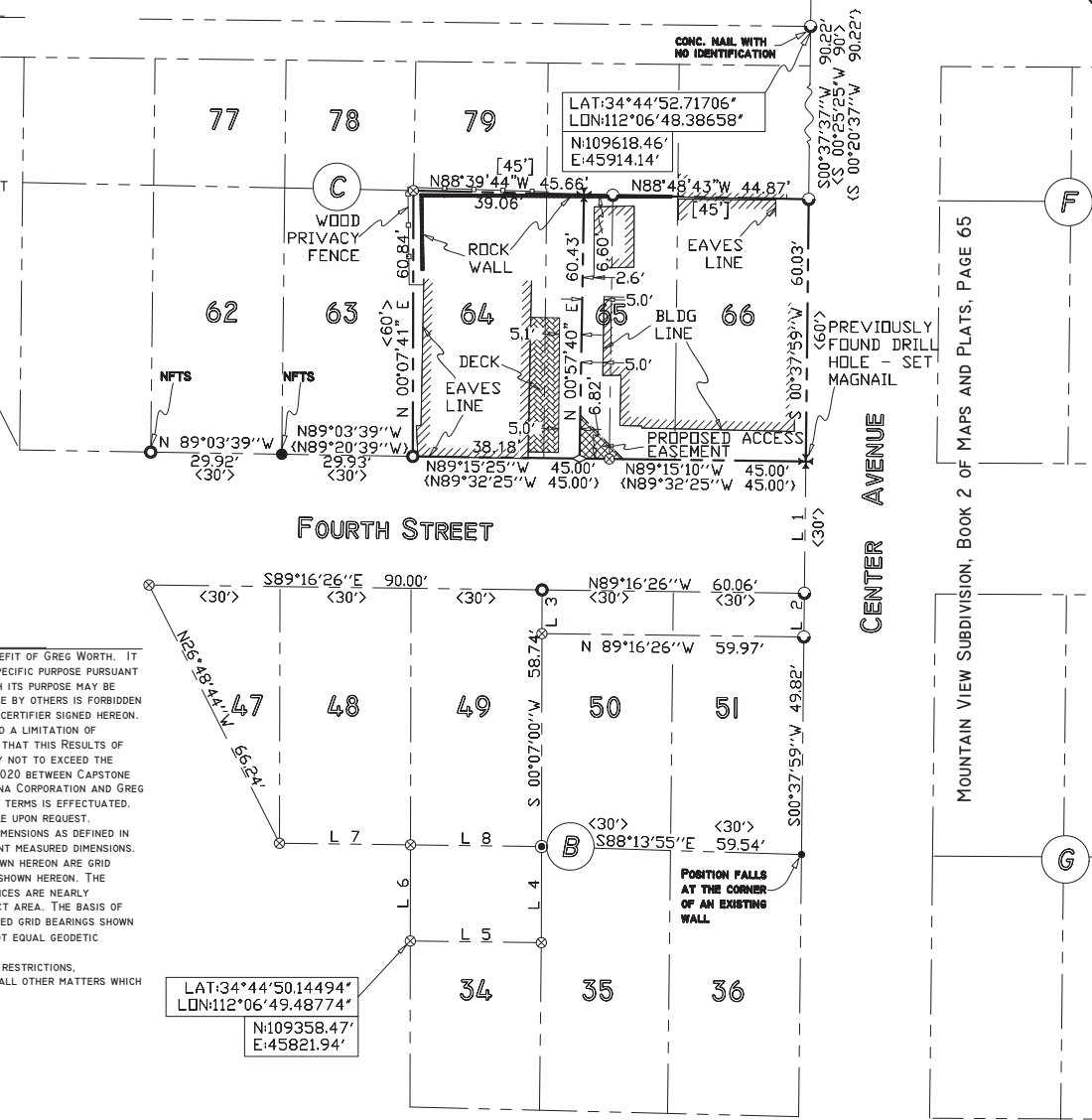
ADJUSTING THE LINE BETWEEN THAT PARCEL DESCRIBED IN BOOK 4368 OF OFFICIAL RECORDS, PAGE 665 AND THAT PARCEL DESCRIBED IN INSTRUMENT 2020-0027545, BEING PORTIONS OF LOTS 64 THROUGH 66, BLOCK C, OF THE SYNDICATE ADDITION OF THE COPPER CHIEF CLAIM, IN SECTION 23, TOWNSHIP 16 NORTH, RANGE 2 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, RECORDED IN BOOK 2 OF MAPS AND PLATS, PAGE 87 IN THE OFFICE OF THE COUNTY RECORDER, IN THE COUNTY OF YAVAPAI, IN THE STATE OF ARIZONA FOR GREG WORTH

CORNERSTONE
surveying & engineering, inc.

P.O. Box 1245
Cottonwood, Az. 86326
PH: 928-649-0949
Fax: 928-639-3801

| NO. | REVISED BY | DATE |
|-----|------------|------|
| 1 | S. DICKEY | 7-28 |
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PROJECT NO.
I2007241
DATE
7/24/2020
DATE OF SURVEY
7/24/2020
DRAWING BY
STAN DICKEY
SHEET
1/1



Coverage Calculations - 639 Center Ave & 116 4th St (Worth Property)

Updated: July 28, 2020

639 Center Ave

| Item | Size | Notes |
|--------------------|---------|------------------|
| Existing Lot Size | 2700 sf | 45' x 60' |
| Lot Size After LLA | 3300 sf | (45' + 7') x 60' |

Structure Square Footage (existing)

| | |
|-----------------|----------------|
| House | 976 sf |
| Garage | 440 sf |
| Shed | 96 sf |
| Porch | 149 sf |
| Breezeway | 72 sf |
| Subtotal | 1733 sf |

Structure on adjacent property

| | | |
|-----------------|---------------|------------------|
| House | 60 sf | approx. 3' x 20' |
| Shed | 60 sf | approx. 4' x 15' |
| Subtotal | 120 sf | |

Structure Square Footage with addition

| | |
|-----------------|----------------|
| House | 976 sf |
| Garage | 440 sf |
| Addition | 16 sf |
| Shed | 96 sf |
| Porch | 149 sf |
| Breezeway | 72 sf |
| Subtotal | 1749 sf |

| Coverage | Structures | Lot Area | Percentage |
|----------|------------|----------|------------|
| Existing | 1613 sf | 2700 sf | 59.7% |
| Proposed | 1749 sf | 3300 sf | 53.0% |

Note - the existing coverage excludes the portions of the structures that are on the adjacent property (1733 sf - 120 sf = 1613 sf)

116 4th Street

| Item | Size | Notes |
|--------------------|---------|------------------|
| Existing Lot Size | 2700 sf | 45' x 60' |
| Lot Size After LLA | 2280 sf | (45' - 7') x 60' |

2280

Structure Square Footage (existing)

| | |
|------------------|----------------|
| House | 816 sf |
| Side deck | 150 sf |
| Front deck/porch | 130 sf |
| Subtotal | 1096 sf |

Structure on adjacent property

| | | |
|-----------------|---------------|------------------|
| House | 60 sf | approx. 3' x 20' |
| Shed | 60 sf | approx. 4' x 15' |
| Subtotal | 120 sf | |

| Coverage | Structures | Lot Area | Percentage |
|-----------|------------|----------|------------|
| Existing | 1216 sf | 2700 sf | 45.0% |
| After LLA | 1096 sf | 2280 sf | 48.1% |



TOWN OF JEROME, ARIZONA
600 Clark Street, P.O. Box 335, Jerome, AZ 86331
(928) 634-7943

General Land Use Application – Check all that apply

- Site Plan Review \$100
- Demolition \$50/\$200
- Time Extension \$0
- Design Review \$50/\$200
- Signage/Awning \$50
- Other: _____
- Conditional Use Permit (CUP) \$100
- Paint/Roofing \$0
- Other: _____

Note: Refer to the corresponding Project Application Checklist/s for additional submittal requirements.

| | |
|---|---|
| Applicant: Gregory Worth | Owner: Gregory Worth & Barbara Nelson |
| Applicant address: 116 4th Street, Jerome, Az | Owner Mailing Address: 705 Ten Point Drive Rochester Hills, Michigan 48309 |
| Applicant role/title: Owner | |
| Applicant phone: 248-568-7288 | Owner phone: 248-568-7288 |
| Applicant email: gaworth@comcast.net | Owner email: gaworth@comcast.net |
| Project address: 639 Center Steet, Jerome Arizona | Parcel number: 401-08-037 |
| Describe project: Restoration of historic home & Garage, including new plumbing, electrical and roof. | |
| Project narrative is attached in a separate document. | |
| | |

- I understand that review by the Jerome Design Review Board, Planning and Zoning Commission, and Town Council is discretionary.
- I understand that the application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I understand review criteria are used in evaluation by the Jerome Design Review Board and/or Planning and Zoning Commission. These criteria are included in the Jerome Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and the application is determined to be complete.

Applicant Signature: *Gregory Worth* Date: 7/14/2020

Owner Signature: *Gregory Worth* Date: 7/14/2020

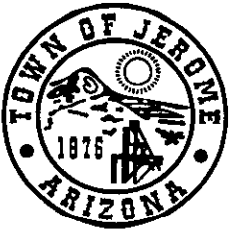
For Town Use Only

Received from: _____ Date: _____

Received the sum of \$ _____ as: Check No. _____ Cash Credit Card

By: _____ For: _____

Tentative Meeting Date/s - DRB: _____ P&Z: _____



Site Plan Review Application Checklist

Each application will be filed with the zoning administrator and forwarded to the Jerome Design Review Board once the application has been reviewed by staff and determined to be complete. All application materials must be submitted electronically in PDF format (8.5-by-11 inches or 11-by-17 inches). Contact the zoning administrator at 928-634-7943 if assistance is needed regarding submitting materials.

- General Land Use Application Form
- Written narrative of the proposed project (include uses, hours of operation, number of employees, etc.)
- Plot plan or site layout, including all improvements drawn to scale
- Location, dimension, and calculation of required parking spaces
- Dimensions of all setbacks (front, rear, sides)
- Diagram and calculation of median grade and maximum building height
- Topographic survey (note: may be waived for some projects)
- Existing and proposed grades
- Location and dimensions of property lines, street right-of-way boundaries, and easements
- Location and dimensions of all existing buildings, structures, and nearby features
- Square footage and coverage of existing and proposed buildings
- Elevations and dimensions of all sides of proposed building walls
- Location and dimensions of existing and proposed pedestrian walkways and stairways
- Photographs showing all sides of existing structures
- Location of trees and other natural features
- Utility locations and connections
- Method of disposal for storm drainage (including energy dissipaters and retention/detention)
- Fire sprinkler and fire safety components
- Landscape plan
- Lighting plan and lighting fixtures
- Signage (if applicable)
- Photographs showing adjoining properties, buildings, and structures
- Explanation and location of any building or structure to be demolished or removed
- Depth and volume of any cut and fill or other proposed excavation
- Additional information requested by zoning administrator
 - See attached narrative of project
 - See Elevations from Lee Christensen Architech
 - _____



Design Review Application Checklist

Each application will be filed with the zoning administrator and forwarded to the Jerome Design Review Board once the application has been reviewed by staff and determined to be complete. All application materials must be submitted electronically in PDF format (8.5-by-11 inches or 11-by-17 inches). Contact the zoning administrator at 928-634-7943 if assistance is needed regarding submitting materials.

- General Land Use Application Form
- Written narrative of the proposed project, uses, hours of operation, number of employees, etc.
- Plot plan or site layout, including all improvements drawn to scale
- Elevations (all sides of proposed building or project) drawn to scale
- Photographs showing all sides of existing structures
- Photographs showing adjoining properties, buildings and structures
- Material samples
- Color samples
- Explanation and location of any building or structure to be demolished or removed
- Location of trees and other natural features
- Utility locations and connections
- Method of disposal for storm drainage (including energy dissipaters and retention/detention)
- Fire sprinkler and fire safety components
- Landscape plan
- Lighting plan and lighting fixtures
- Signage (if applicable)
- Additional information requested by Zoning Administrator
 - See attached narrative
 - See attached Elevations and site plan
 - From Lee Christensen Architecture

**Narrative of the Proposed Project at 639 Center Avenue,
Jerome, Az, 86331
July 15, 2020
By Gregory A. Worth and Barbara J. Nelson, Owners**

On May 21st, we purchased the historic home on 639 Center Avenue. The house was built in 1908 as a boarding house / residence and the Jerome historical society has many photos of the house in its early years. We plan to return it to its historic Jerome look while honoring the history of the house. The porch, in particular is not historically correct, and we have attached historic photos showing what we plan to do to make the home compliant with the look of other houses in our neighborhood.

The lower portion of the home has been rented for several years and the upper part of the house has been empty for the past 12 years as the owner moved out of the state and has not returned. The house and garage have been poorly maintained for many years by the owner and rental agency and are in need of immediate repairs for safety and preservation purposes. We plan to complete safety repairs as soon as possible and then over the next several months, restore this home to its former glory. Our intention is to keep this as a family property.

We will be using a variety of specialty contractors working during standard business hours to stabilize the foundation, replace the front porch which is rotting and pulling away from the house (due to a 10-year leaking roof and poor maintenance) , replace the electrical wiring, rework the plumbing, install new HVAC equipment, repaint the house and put on new roof.

We will be using similar materials and colors on the exterior of the house and garage as we wish to maintain its historic look. Windows will be restored where possible, enhanced with tempered glass where required and replaced with like windows where needed. On the roof we will either use shingles of similar color and texture or if budget allows, we will be putting on a sage green metal roof similar to others that are installed in our neighborhood.

We also need to stabilize the attached garage by reinforcing the garage structure, adding interior compliant drywall, rewiring the electrical and redoing the deck surface. We will also put up railings to match the new porch which are historically appropriate but meet current safety standards. We also plan to replace the existing single door with two overhead garage doors, like the garage immediately to the right of our garage. (See attached photos)

We plan to remove paradise trees and other impinging vegetation to comply with Firewise standards and to stabilize the structure of the house. (there are paradise trees pushing on the house and foundation.) There are no other notable trees or notable features in the homes landscaping.

We will be updating existing exterior lighting. The home has existing gas and electricity connections and they are shown in the attached photos.



Front view of House and Garage



Left side view of house from Fourth/Center street corner.



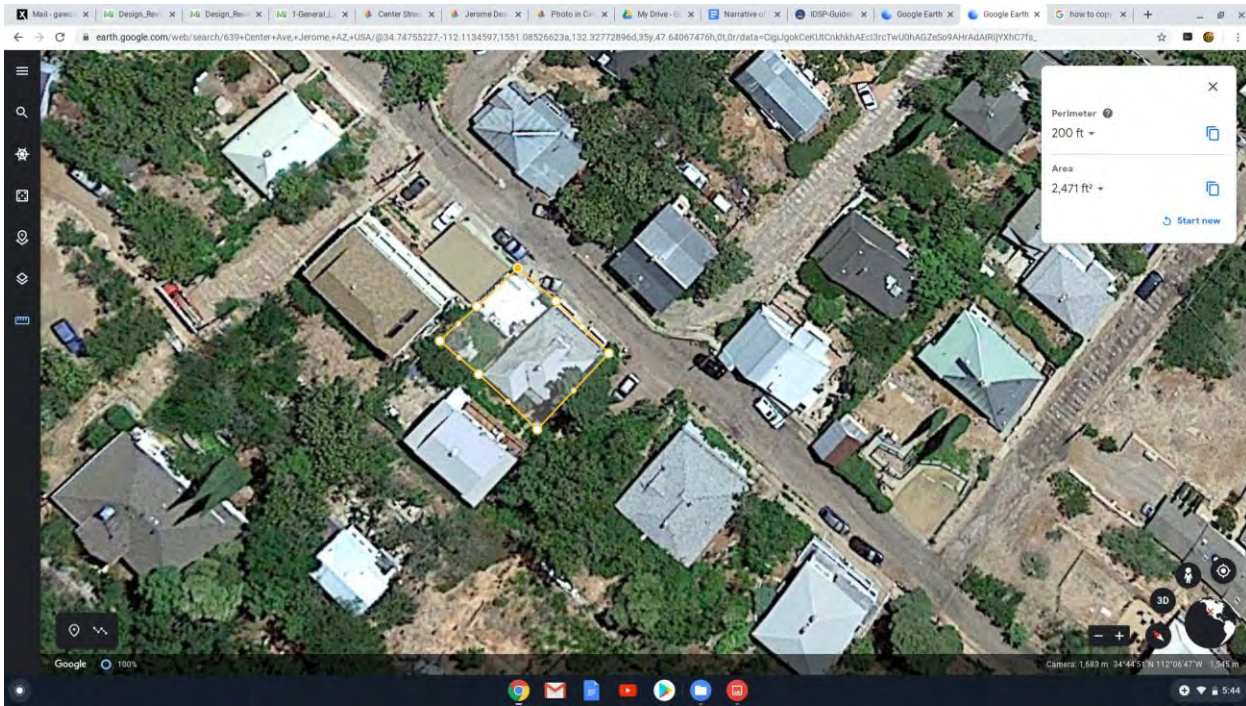
Back view of house



We are requesting permission to add 2 feet to the inside corner on the back of the house to enable us to more easily build a compliant bathroom on this level. The original footprint and the proposed minor change in footprint is show on the two elevations provided by Lee Christensen Architecture.



Overhead Google Earth view of House/Garage and Garden Shed.

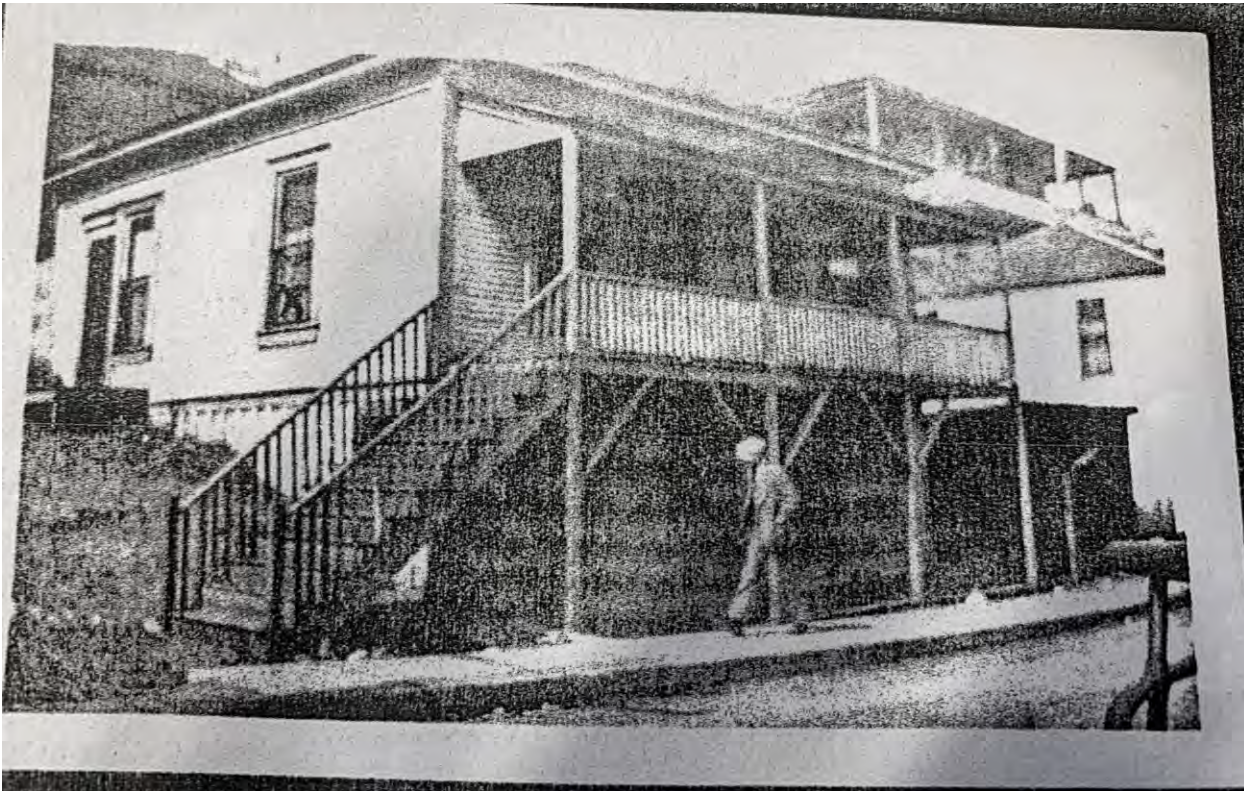


Porch Restoration

Current deteriorating Non-Historic Front Porch on 639 Center Ave. Posts are rotting, the roof is leaking, the decking is rotting and the porch is pulling away from the house. It is currently unsafe to walk on the upper level and the roof is starting to sag.



Original 1928 Front Porch and stairway to 4th street - From Jerome Historical Society archive Photo and property file. We propose to return the porch back to this look but with safety compliant rail height and spacing of balusters. We will also put a Jerome style open railing on the lower level porch to match the upper. The stairway shown will be entirely within the boundaries of our property. We have also enclosed elevations of our new porch.



This will be a good match to the neighborhood porch & design styles - see photo below of the historic house to the left of the house.(at 641 Center.)



Garage Restoration / Improvement

Current garage / deck with deteriorating front and support structure. It also shows the lack of a proper and historic safety railing on the deck.



We propose to reinforce the deck with vertical support beams and internal horizontal support beams running from the front of the garage to the back concrete wall to support the deck more completely. We plan to replace the one garage door and deteriorating front with 2 garage doors. The garage interior will then be drywalled to current codes. This will then look like the garage immediately to the right of our garage on Center Ave.



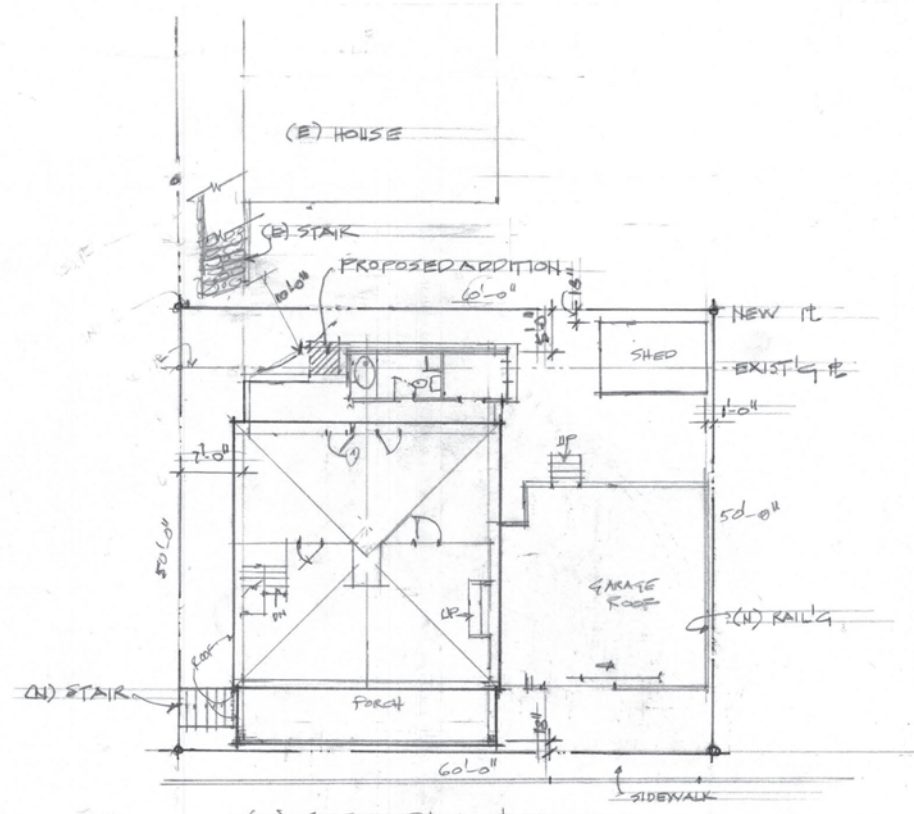
End of Document.



A5 - BUILT EAST ELEVATION
 1/4" = 1'-0"



EAST ELEVATION
 1/4" = 1'-0"

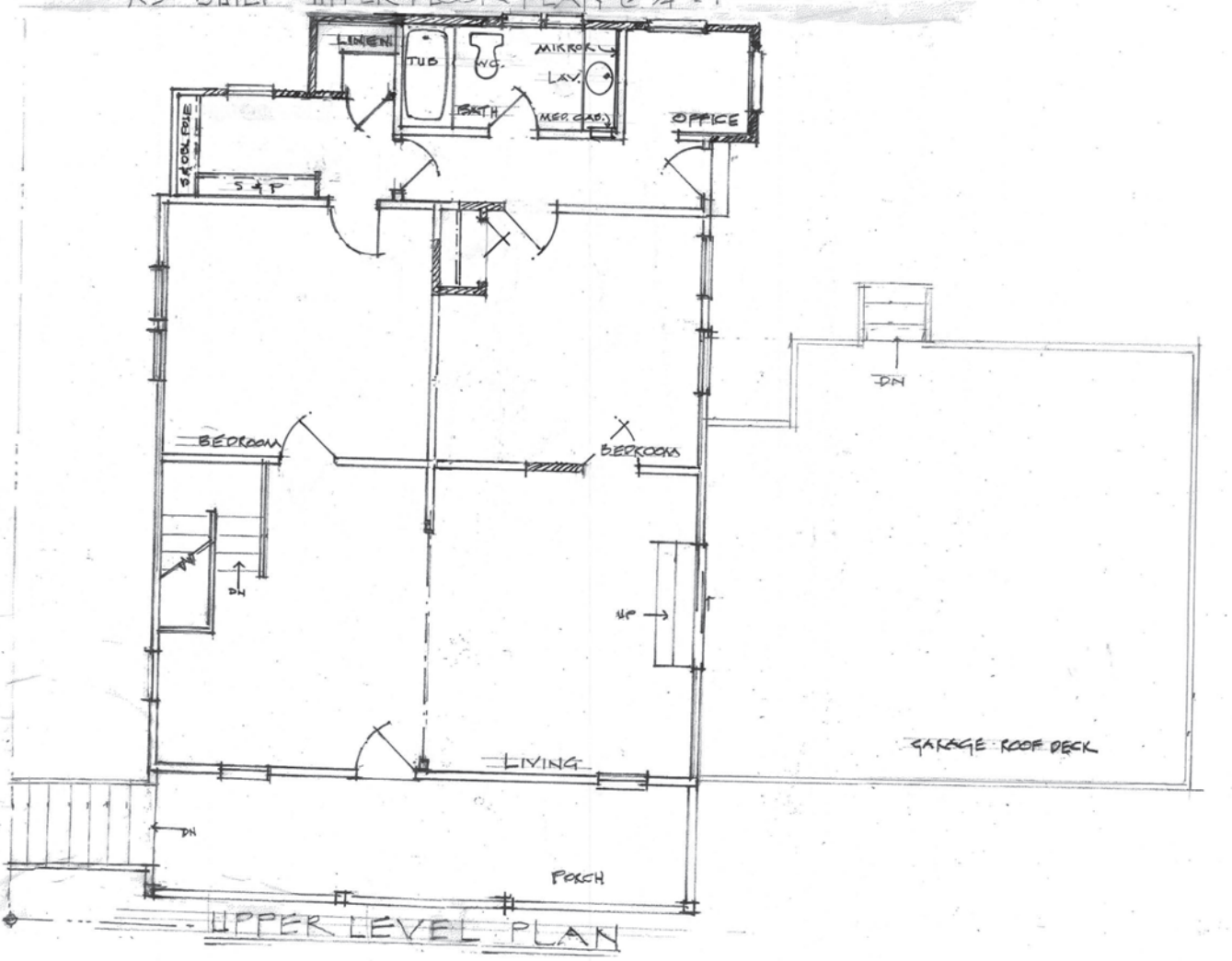
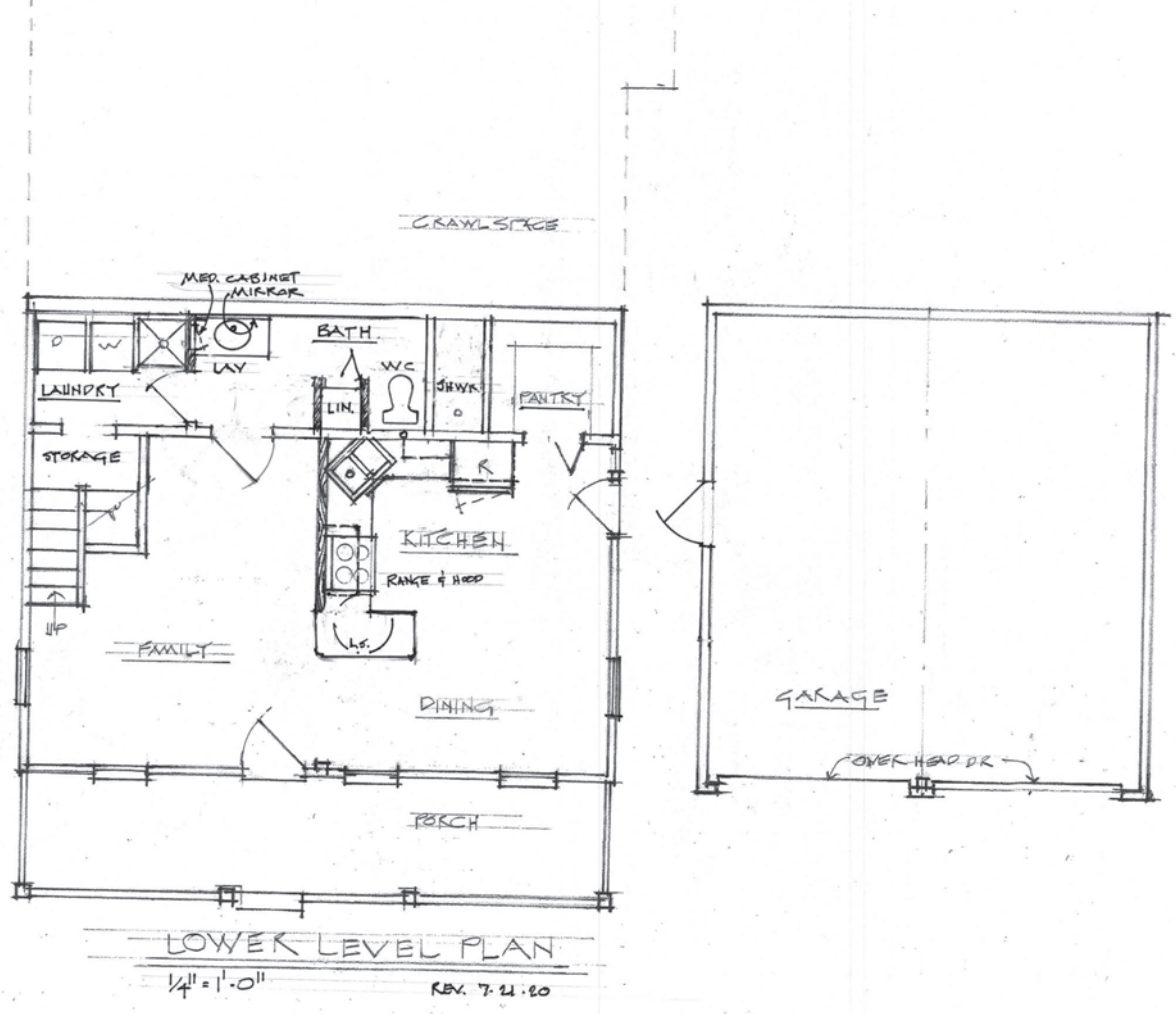
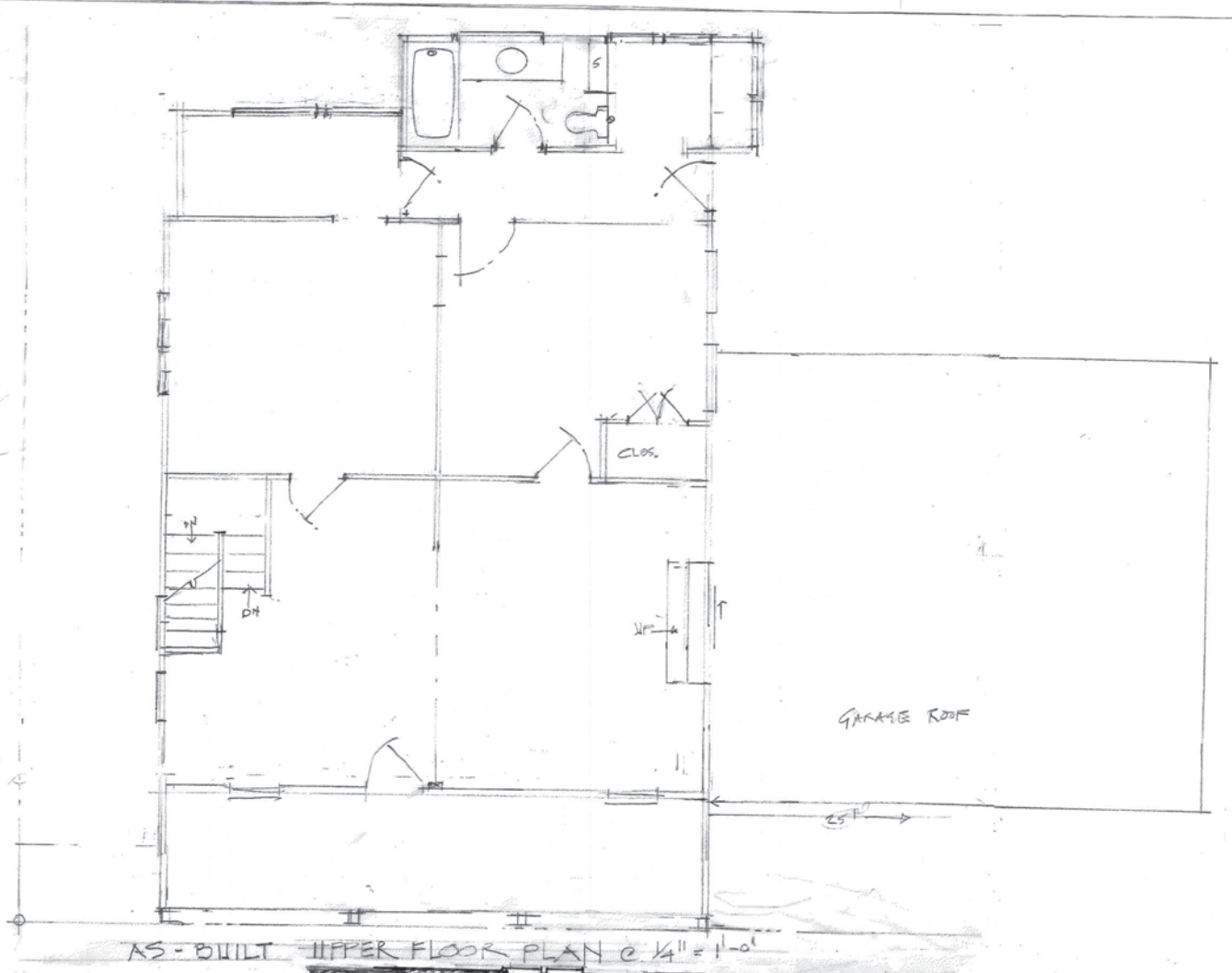
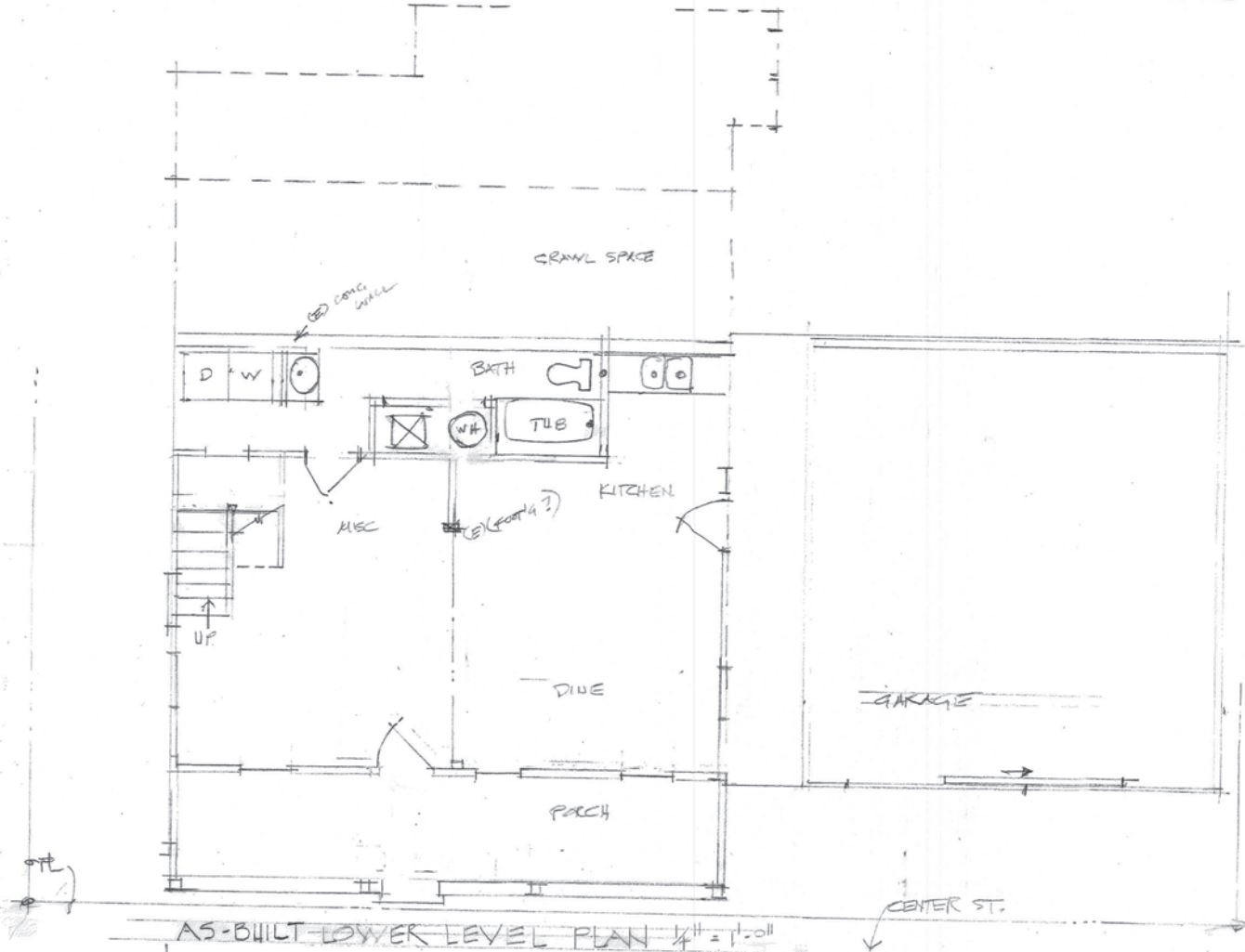


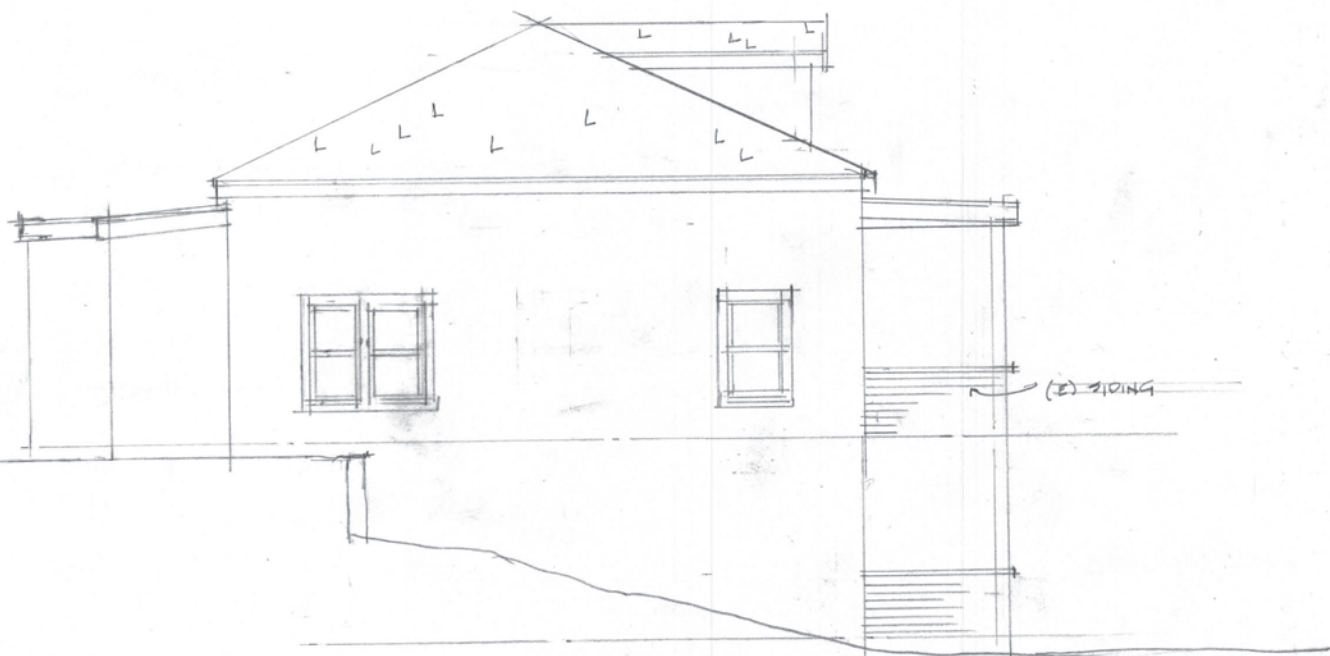
(E) SITE PLAN
 1" = 10'-0" 6-15-20

PROPOSED RENOVATIONS for THE WORTH RESIDENCE
 JEROME, AZ 86331
 637 CENTER AVENUE

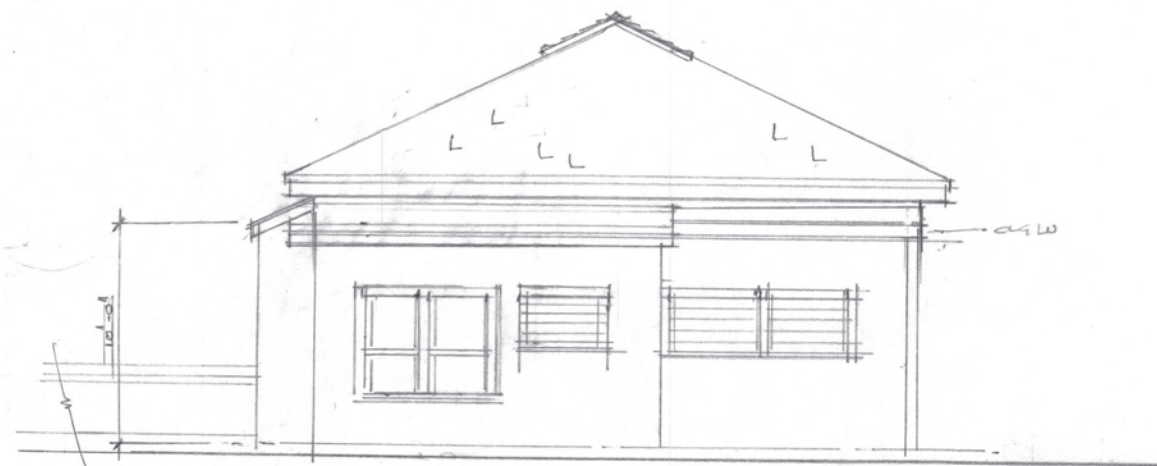

 LEE N CHRISTENSEN
 ARCHITECT AND PLANNER
 www.lchristensen.com
 LEE N CHRISTENSEN and ASSOCIATES
 ARCHITECTURE AND PLANNING
 PO BOX 1815 SEDONA ARIZONA 86339 (928) 282-7597
 lchristensen@sedona.az.us Fax (928) 282-8478

PROPOSED RENOVATIONS for THE WORTH RESIDENCE
 239 CENTER AVENUE
 JEROME, AZ. 85331





AS-BUILT SOUTH ELEVATION



AS-BUILT WEST ELEVATION

1/4" = 1'-0" 7/2/20



SOUTH ELEVATION

REVISED 7-22-20
DANIT REICHERT



WEST ELEVATION

REVISED 7-21-20

PROPOSED RENOVATIONS for THE WORTH RESIDENCE
639 CENTER AVENUE
JEROME, AZ 86331



TOWN OF JEROME

Post Office Box 335, Jerome, Arizona 86331
(928) 634-7943

Zoning Administrator Analysis Planning and Zoning Commission Wednesday, August 5, 2020

ITEM 8: Preliminary/final site plan review for rear deck
Location: 860 Hampshire Avenue
Applicant/Owner: Mary and Andrew Chinander
ZONE: R1-5
APN: 401-07-133
Recommendation: Approve
Prepared by: John Knight, Zoning Administrator
Resolution: **P&Z Resolution 2020-15**

Background and Summary: The applicants request preliminary and final site plan review to add a 20-by-12-foot (240-square-foot) deck to the rear of their house. The applicants propose to use a composite deck material (like Trex) for the deck surfacing and a metal safety railing. The work also includes rebuilding the existing stairs and deck and resurfacing them with a composite deck material.

Section 303.1.A. Purpose: *The purpose of the preliminary site plan review is to provide for the public health, safety and general welfare, and to protect the environment and the historical character of the Town of Jerome. The plan review will include examination of all proposed site work and excavation and grading regulations, with special regulation of work on sites with extreme slope or unstable soils. Essential to this purpose is the review of possible impacts on surrounding properties.*

Response: The zoning administrator and Jerome Planning and Zoning Commission (P&Z) are required to review the proposed plans to provide for the public health, safety, and general welfare of the town of Jerome, and to protect the environment and the historical character of the town. This includes a review of all proposed site work, grading, and potential impacts on surrounding properties.

Section 303.1.E. Review Procedures: *The Zoning Administrator shall have ten (10) working days from the date of submission of a preliminary site plan application to review said plan for completeness. A completed preliminary site plan shall be submitted to the Planning and Zoning Commission at the earliest meeting time available. The Zoning Administrator may request Design Review recommendation on the Preliminary Site Plan. The Planning and Zoning Commission shall approve, conditionally approve or deny said plan. Once denied, the original plan shall not be resubmitted. The Planning and Zoning Commission may, if the preliminary drawings and other data are sufficiently clear and explicit, waive the requirements of Section 303.2 and/or Grant Final Approval at the Preliminary Review session, provided all other requirements of this section are conformed with.*

Response: After reviewing the proposed plans and application materials, the Planning and Zoning Commission may approve, conditionally approve, or deny the plan. Note: this section also identifies that the commission may conduct both preliminary and final site plan reviews if the drawings and information are sufficiently clear. The applicants have requested both preliminary and final approvals.

Section 502.H.10. Deck Setback: *No portion of any deck shall be located within five (5) feet of the lot line except in those districts where residential use is not a permitted use. In those districts, decks should conform to the required yard for that zone. Decks shall not encroach into any public easement. Square footage of decks shall be included in lot coverage for each zoning district.*

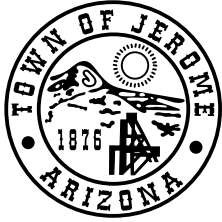
Response: The zoning ordinance requires a five-foot minimum setback for decks from all residential property lines. The applicants propose an approximately 25-foot setback.

Recommended Conditions: The Planning and Zoning Commission may add conditions to ensure compliance with town ordinances and standards. The zoning administrator has prepared a resolution and conditions for consideration by P&Z.

Recommendation: The zoning administrator recommends approval of the project with the conditions included in the attached resolution.

Attachments:

- P&Z Resolution 2020-15
- Application, plans, and supplemental information



TOWN OF JEROME

Post Office Box 335, Jerome, AZ 86331
(928) 634-7943

P&Z Resolution No. 2020-15

Approving Preliminary and Final Site Plan Review for rear deck and improvements at 860 Hampshire Avenue

WHEREAS, the Town of Jerome has received an application for Preliminary and Final Site Plan Review from Mary and Andrew Chinander for property located at 860 Hampshire Avenue (APN 401-07-133); and

WHEREAS, the property is in the R1-5 zoning district; and

WHEREAS, a notice was posted at the site on July 21, 2020, in accordance with Jerome Zoning Ordinance Section 303.1C; and

WHEREAS, the application has been reviewed in accordance with Sections 505 and 502 of the Jerome Zoning Ordinance; and

WHEREAS, the Planning and Zoning Commission finds that the proposed improvements do not adversely affect the public health, safety, and general welfare of the Town of Jerome, and so protects the environment and the Town's historical character;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that the Preliminary and Final Site Plan review for a rear deck and improvements at 860 Hampshire Avenue is hereby approved, subject to the following conditions:

1. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
2. **Other Improvements/Changes** – Any subsequent modifications or changes to the Plans, including but not limited to changes in setbacks, square footage, fences, siding, roofing, height, etc., will require additional review by the Planning and Zoning Commission and/or the Design Review Board.
3. **Drainage** - The building permit submittal shall indicate both existing and proposed drainage. This includes, but is not limited to, how drainage will be collected (such as from roof drains) and directed to provide disposal and protection of neighboring properties. This may include splash blocks, swales, detention basins, and gravel catchments to help dissipate hydraulic energy. Roof and other drains shall not be directed across sidewalks.
4. **Building Permit Submittal and Code Requirements** - The applicants shall consult with the Building Inspector and submit detailed drawings for building permits that clearly demonstrate compliance with all Code requirements, including, but not limited to, coverage, height, parking, and setbacks.
5. **Compliance with plans** – The project shall be completed in compliance with the approved plans.

P&Z RESOLUTION NO. 2020-15

6. **Conditions on Plans** – The building permit plan submittal shall include a sheet with a list of approved conditions from both the Design Review Board and Planning and Zoning Commission.
7. **Expiration of Approval** - This approval shall become null and void if a building permit is not issued within six (6) months of final Planning and Zoning and Design Review Board Approval of this application. If necessary, the applicants may request an extension by the approval body, if the extension is submitted prior to approval expiration.

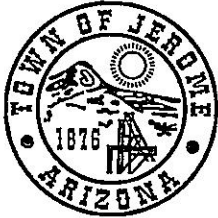
ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 5th day of August 2020.

ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Jessamyn Ludwig, Chair



File #: _____

Town Use

TOWN OF JEROME, ARIZONA

600 Clark Street, P.O. Box 335, Jerome, AZ 86331
(928) 634-7943

General Land Use Application – Check all that apply

- Site Plan Review \$100
- Design Review \$50/\$200
- Conditional Use Permit (CUP) \$100
- Demolition \$50/\$200
- Signage/Awning \$50
- Paint/Roofing \$0
- Time Extension \$0
- Variance \$200
- Other: _____

Note: Refer to the corresponding Project Application Checklist/s for additional submittal requirements.

| | |
|--|---|
| Applicant: <u>MARY CHINANDER</u> | Owner: <u>MARY CHINANDER</u> |
| Applicant address: <u>810 Hampshire Ave Jerome</u> | Owner Mailing Address: <u>9635 E Blazing Star Cir. Prescott Valley AZ 86315</u> |
| Applicant role/title: <u>owner</u> | |
| Applicant phone: <u>928 899 7115</u> | Owner phone: <u>928 899 7115</u> |
| Applicant email: <u>andymary4@gmail.com</u> | Owner email: <u>andymary4@gmail.com</u> |
| Project address: <u>810 Hampshire Ave</u> | Parcel number: _____ |
| Describe project: <u>Re-Construct existing side deck, attached staircase and rear downstairs deck. Add upper deck, 20x12 size</u> | |

- I understand that review by the Jerome Design Review Board, Planning and Zoning Commission, and Town Council is discretionary.
- I understand that the application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I understand review criteria are used in evaluation by the Jerome Design Review Board and/or Planning and Zoning Commission. These criteria are included in the Jerome Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and the application is determined to be complete.

Applicant Signature: Mary Chinander Date: 2/26/2020

Owner Signature: _____ Date: _____

For Town Use Only

Received from: _____ Date: _____

Received the sum of \$ _____ as: Check No. _____ Cash Credit Card

By: _____

note - \$150 fee paid by credit card over the phone

Tentative Meeting Date/s - DRB: _____ P&Z: _____



Design Review Application Checklist

Each application will be filed with the zoning administrator and forwarded to the Jerome Design Review Board once the application has been reviewed by staff and determined to be complete. All application materials must be submitted electronically in PDF format (8.5-by-11 inches or 11-by-17 inches). Contact the zoning administrator at 928-634-7943 if assistance is needed regarding submitting materials.

- General Land Use Application Form
- Written narrative of the proposed project, uses, hours of operation, number of employees, etc.
- Plot plan or site layout, including all improvements drawn to scale
- Elevations (all sides of proposed building or project) drawn to scale
- Photographs showing all sides of existing structures
- Photographs showing adjoining properties, buildings and structures
- Material samples
- Color samples
- Explanation and location of any building or structure to be demolished or removed
- Location of trees and other natural features
- Utility locations and connections
- Method of disposal for storm drainage (including energy dissipaters and retention/detention)
- Fire sprinkler and fire safety components
- Landscape plan
- Lighting plan and lighting fixtures
- Signage (if applicable)
- Additional information requested by Zoning Administrator
 - ① Re-do side deck, exterior staircase and downstair existing deck with same material - wood
 - ② Add upper 20x12 wood deck - no new stairs



Site Plan Review Application Checklist

Each application will be filed with the zoning administrator and forwarded to the Jerome Planning and Zoning Commission once the application has been reviewed by staff and determined to be complete. All application materials must be submitted electronically in PDF format (8.5-by-11 inches or 11-by-17 inches). Contact the zoning administrator at 928-634-7943 if assistance is needed regarding submitting materials.

- General Land Use Application Form
- Written narrative of the proposed project (include uses, hours of operation, number of employees, etc.)
- Plot plan or site layout, including all improvements drawn to scale
- Location, dimension, and calculation of required parking spaces
- Dimensions of all setbacks (front, rear, sides)
- Diagram and calculation of median grade and maximum building height
- Topographic survey (note: may be waived for some projects)
- Existing and proposed grades
- Location and dimensions of property lines, street right-of-way boundaries, and easements
- Location and dimensions of all existing buildings, structures, and nearby features
- Square footage and coverage of existing and proposed buildings
- Elevations and dimensions of all sides of proposed building walls
- Location and dimensions of existing and proposed pedestrian walkways and stairways
- Photographs showing all sides of existing structures
- Location of trees and other natural features
- Utility locations and connections
- Method of disposal for storm drainage (including energy dissipaters and retention/detention)
- Fire sprinkler and fire safety components
- Landscape plan
- Lighting plan and lighting fixtures
- Signage (if applicable)
- Photographs showing adjoining properties, buildings, and structures
- Explanation and location of any building or structure to be demolished or removed
- Depth and volume of any cut and fill or other proposed excavation
- Additional information requested by zoning administrator
 - _____
 - _____
 - _____

↓ existing exterior fence

rear property line

— APPROX. 25ft

EXISTING (RE-DO)
STAIRCASE

EXISTING
SIDE DECK (RE-DO)

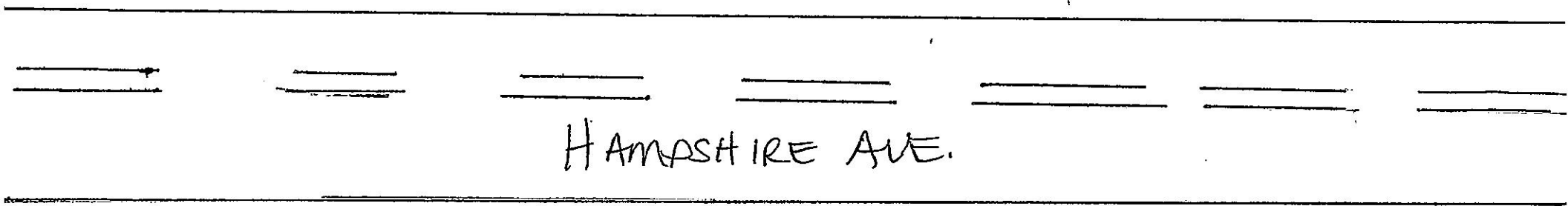
PROPOSED NEW
UPPER DECK
20x12

← EXISTING
DECK

HOUSE

860 HAMPSHIRE AVE.

HAMPSHIRE AVE.





Stairs to be rebuilt.



Ex. Rear Deck to be rebuilt. 2nd story deck to be added directly above.



Ex. Side deck to be rebuilt.



Existing side deck to be rebuilt



Example of proposed railing



Example of composite decking material (Trex or similar)





TOWN OF JEROME

Post Office Box 335, Jerome, Arizona 86331
(928) 634-7943

Zoning Administrator Analysis Planning and Zoning Commission Wednesday, August 5, 2020

ITEM 9: Discussion about mixed-use in the C-1 Zone
Applicant/Owner: Town of Jerome
Recommendation: Discussion and possible direction to staff
Prepared by: John Knight, Zoning Administrator

Background and Summary: A question came up recently from local business/property owners Nancy and Tracy Weisel about how the town code addresses uses at 415 Main Street. This building has historically been occupied for both commercial and residential uses. The building now includes several businesses: Altai Leather, Flat Iron Café patio seating, commercial storage, and Retro Roadrunner Resale. The building also includes residential apartments. An excerpt of an email sent by Nancy Weisel is attached.

The question raises a larger issue of how the zoning ordinance addresses mixed-use buildings and projects. The C-1 district allows a variety of retail uses as “permitted uses” and allows residential uses as “conditional uses.” The code does not have a category for mixed uses that are both commercial and residential.

What is mixed use? Mixed use is typically characterized as a pedestrian-friendly development that blends two or more residential, commercial, cultural, institutional, and/or industrial uses. Mixed use is one of the ten principles of “Smart Growth,” a planning strategy that seeks to improve community design (<http://smartgrowth.org/smart-growth-principles/>). Mixed use can include vertical mixed uses (retail shops and offices below with residential apartments above) and horizontal mixed uses (retail shops and offices in front with residential apartments in back). Mixed-use developments typically include separate entrances for the commercial and residential uses and are typically occupied by different tenants. A few local examples of mixed use include the Sullivan Apartments over Threads on Main, the residence over the Miner’s Pick Rock Shop and the apartments in the Boyd Hotel over OJ’s Copper Country Fudge.

Mixed-use definitions can also include “live-work” units. Live-work units differ from vertical and horizontal mixed uses in that they are typically occupied by the same tenant. Examples might include an artist studio at street level with a bedroom above, an architect’s office in front with living quarters in back, or a restaurant below with family living quarters above. The uses at the Weisel’s property at 415 Main Street would be most appropriately classified as live-work units. Both the Lola building and House of Joy on Hull Avenue would also be considered live-work units.

Code amendment: To properly address mixed-use projects, the Planning and Zoning Commission would likely need to initiate a code amendment. This issue is closely related to the discussions the Commission is having regarding residential lodging in the C-1 district. The Commission may want to direct staff to include mixed use as a permitted or conditional use in the C-1. Consideration will need to be given to whether residential uses would be allowed at street level, what percentage of residential and commercial uses are allowed, and how parking is addressed for mixed-use projects.

Recommendation: Staff requests the Planning and Zoning Commission provide direction on whether a mixed-use category should be included in the zoning ordinance.

Attachment: email from Nancy Weisel

Received by John Knight - July 9, 2020

Excerpt of email received from Nancy Weisel

Hi John,

We would like to ask for clarity on our town codes regarding our building located at 415 Main Street, Parcel ID 401-06-087. The building is zoned C1 and has been used as commercial/residential for as long as we remember. Originally built as an Annex to the Central Hotel, it was converted to commercial/residential by the previous owner in the '70s. We have owned the building since 1994.

The current businesses in the building are Altai Leather, Flat Iron Café patio seating and commercial storage, and Retro Roadrunner. There are two residential spaces also.

Over the years, besides residential use, there have been many businesses including clothing manufacturing, retail, shipping service, vacation rental, massage therapy, and commercial storage, to name a few.

Please advise what other information you might need, and how we can move forward to make our codes accommodate this unique building of mixed use.

Thank you,

Nancy and Tracy Weisel